

City of Kelowna  
Public Hearing  
AGENDA



Tuesday, January 21, 2014  
6:00 pm  
Council Chamber  
City Hall, 1435 Water Street

Pages

1. Call to Order

THE CHAIR WILL CALL THE HEARING TO ORDER:

1. (a) The purpose of this Hearing is to consider certain bylaws which, if adopted, shall amend *Kelowna 2030 - Official Community Plan* Bylaw No. 10500 and Zoning Bylaw No. 8000.

(b) All persons who believe that their interest in property is affected by the proposed bylaws shall be afforded a reason-able opportunity to be heard or to present written submissions respecting matters contained in the bylaws that are the subject of this hearing. This Hearing is open to the public and all representations to Council form part of the public record. A live audio feed may be broadcast and recorded by Castanet.

(c) All information, correspondence, petitions or reports that have been received concerning the subject bylaws have been made available to the public. The correspondence and petitions received after January 10, 2014 (date of notification) are available for inspection during the course of this hearing and are located on the information table in the foyer of the Council Chamber.

(d) Council debate on the proposed bylaws is scheduled to take place during the Regular Council meeting after the conclusion of this Hearing. It should be noted, however, that for some items a final decision may not be able to be reached tonight.

(e) It must be emphasized that Council will not receive any representation from the applicant or members of the public after conclusion of this Public Hearing.

## 2. Notification of Meeting

The City Clerk will provide information as to how the Hearing was publicized.

## 3. Individual Bylaw Submissions

### 3.1 Bylaw No. 10904 (Z13-0026) - 1060 Hollywood Road S, Swaranjit Singh Punia & Harbant Kaur Punia

4 - 16

To consider a proposal to rezone the subject property from the RU1 - Large Lot Housing zone to the RU6 - Two Dwelling Housing zone to allow the subdivision of the lot into three parcels (two single detached housing lots and one semi-detached housing or duplex lot).

### 3.2 Bylaw No. 10906 (Z13-0039) - 1334 St. Paul Street, CTQ Holdings Ltd.

17 - 29

To consider a proposal to rezone the subject property from the I2 - General Industrial zone to the C7 - Central Business Commercial zone in order to facilitate office use within the existing building on site.

## 4. Termination

## 5. Procedure on each Bylaw Submission

(a) Brief description of the application by City Staff (Land Use Management);

(b) The Chair will request that the City Clerk indicate all information, correspondence, petitions or reports received for the record.

(c) The applicant is requested to make representation to Council regarding the project and is encouraged to limit their presentation to 15 minutes.

(d) The Chair will call for representation from the public in attendance as follows:

(i) The microphone at the public podium has been

provided for any person(s) wishing to make representation at the Hearing.

(ii) The Chair will recognize ONLY speakers at the podium.

(iii) Speakers are encouraged to limit their remarks to 5 minutes, however, if they have additional information they may address Council again after all other members of the public have been heard a first time.

(e) Once the public has had an opportunity to comment, the applicant is given an opportunity to respond to any questions raised. The applicant is requested to keep the response to a total of 10 minutes maximum.

(f) Questions by staff by members of Council must be asked before the Public Hearing is closed and not during debate of the bylaw at the Regular Meeting, unless for clarification.

(g) Final calls for representation (ask three times). Unless Council directs that the Public Hearing on the bylaw in question be held open, the Chair shall state to the gallery that the Public Hearing on the Bylaw is closed.

Note: Any applicant or member of the public may use visual aids (e.g. photographs, sketches, slideshows, etc.) to assist in their presentation or questions. The computer and ELMO document camera at the public podium are available. Please ask staff for assistance prior to your item if required.



### 3.0 Subdivision, Agriculture & Environment

Planning staff are supportive of the proposed rezoning to allow the subdivision of the lot. The proposal is consistent with the Official Community Plan (OCP) Future Land Use designation of Single/Two Unit residential for the area, and fits well within the existing neighborhood context, as there are numerous examples of RU6 development in the area.

The applicant has conducted neighbor consultation and no major issues were identified. As proposed, the application does not trigger any variances to the Zoning Bylaw; and, should the land use be supported, a Development Permit to evaluate the form and character of the proposal will be handled at a staff level (for the proposed semi detached or duplex lot).

### 4.0 Proposal

#### 4.1 Background

In fulfillment of Council Policy No. 367 respecting public consultation, the applicant undertook neighbour consultation as described in the attached *Schedule 'A'*. No major issues were identified during consultation from neighbouring parcels.

#### 4.2 Project Description

The subject property presently contains one single family dwelling located roughly in the middle and is zoned RU1. The applicant is proposing to rezone the property to RU6- Two Dwelling Housing for the purpose of subdividing. The existing dwelling would be removed, and the applicant would create three lots. The two proposed southern lots would be for single detached dwellings and the proposed third northern lot would be for semi detached dwellings or a duplex.

Figure 1 - proposed subdivision



Each of the lots would meet or exceed the required road frontage under the RU6 subdivision regulations (see zoning analysis table for details). Access and parking will be addressed through the subdivision and development permit process.

A Development Permit to evaluate the form and character and landscaping will be required for proposed lot 1 (Figure 1), and will be executed at a staff level prior to issuance of a building permit.

### 4.3 Site Context

The subject property is approximately 2349 m<sup>2</sup> and is fronting on Hollywood Rd S and shares its northern property line with a School District 23 property. The OCP designates the subject property S2RES - Single / Two Unit Residential and the lot is within the Permanent Growth Boundary.

The lot presently contains one single detached dwelling and a detached accessory building. In order to create the proposed subdivision, both structures will have to be demolished.

The surrounding area is characterized principally by a mix of low density single family, duplex development and school sites.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	P2 - Educational and Minor Institutional	Public Educational
East	RU1 - Large Lot Housing	Single dwelling housing
South	RU1 - Large Lot Housing	Single dwelling housing
West	RU1 - Large Lot Housing	Single dwelling housing

Subject Property Map: 1060 Hollywood Rd S.



#### 4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RU6 ZONE REQUIREMENTS	PROPOSAL
Proposed lot 1 /Subdivision Regulations		
Lot Area	700 m <sup>2</sup> (Duplex or semi detached)	1025 m <sup>2</sup>
Lot Width	18.0 m	21.16 m
Lot Depth	30.0 m	48.37 m
Proposed lot 2 /Subdivision Regulations		
Lot Area	400 m <sup>2</sup> (Single Detached)	663 m <sup>2</sup>
Lot Width	13.0 m	13.7 m
Lot Depth	30.0 m	48.38 m
Proposed lot 3 /Subdivision Regulations		
Lot Area	400 m <sup>2</sup> (Single Detached)	662 m <sup>2</sup>
Lot Width	13.0 m	13.7 m
Lot Depth	30.0 m	48.38 m

#### 5.0 Current Development Policies

##### 5.1 Kelowna Official Community Plan (OCP)

##### Development Process

**Compact Urban Form.**<sup>1</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

**Complete Suburbs.**<sup>2</sup> Support a mix of uses within Kelowna's suburbs (see Map 5.1 - Urban Core Area), in accordance with "Smart Growth" principles to ensure complete communities. Uses that should be present in all areas of the City (consistent with Map 4.1 - Future Land Use Map), at appropriate locations, include: commercial, institutional, and all types of residential uses (including affordable and special needs housing) at densities appropriate to their context. Building heights in excess of four storeys will not be supported within the suburban areas, unless provided for by zoning existing prior to adoption of OCP Bylaw 10500.

**Permanent Growth Boundary.**<sup>3</sup> Establish a Permanent Growth Boundary as identified on Map 4.1 and Map 5.2. The City of Kelowna will support development of property outside the Permanent Growth Boundary for more intensive use only to the extent permitted as per the OCP Future Land Use designations in place as of initial adoption of OCP Bylaw 10500, except for Agri-Business designated sites or as per Council's specific amendment of this policy. The Permanent Growth Boundary may be reviewed as part of the next major OCP update.

<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.3.2 (Development Process Chapter).

<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

<sup>3</sup> City of Kelowna Official Community Plan, Policy 5.3.1 (Development Process Chapter).

**6.0 Technical Comments**

**6.1 Building & Permitting Department**

- 1) Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permits if applicable.
- 2) Full Plan check for Building Code related issues will be done at time of Building Permit applications.

**6.2 Development Engineering Department**

See attached Memorandum from the Development Engineering Branch, dated October 15, 2013.

**6.3 Irrigation District**

Rutland waterworks will provide comments at subdivision stage.

**6.4 FortisBC Energy**

There are primary distribution facilities within Hollywood Road South, adjacent to the subject's east property line. The applicant is responsible for costs associated with any change to the proposed lots' existing service, if any, as well as the provision of appropriate land rights where required. Otherwise, FortisBC Inc. (Electric) has no concerns with this circulation.

**6.5 Shaw**

Shaw Cable approves proposed rezoning application.

**7.0 Application Chronology**

Date of Application Received:	September 17, 2013
Public consultation Received:	November 25, 2013

**Report prepared by:**

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Damien Burggraeve, Planner II

**Approved for Inclusion:**



Shelley Gambacort, Subdivision, Agriculture & Environment



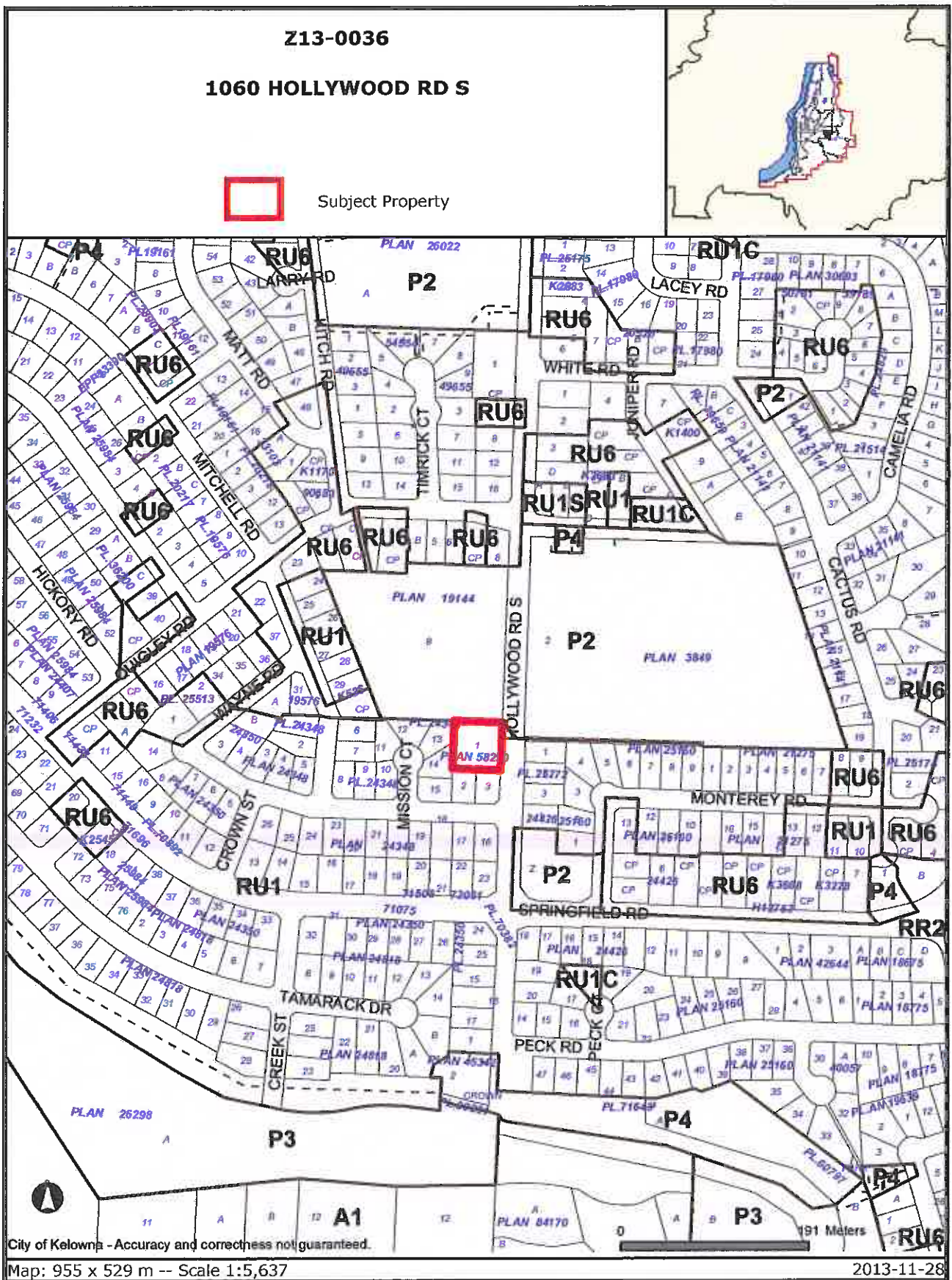
**Attachments:**

Development Engineering Memorandum, dated October 15, 2013 (2 pages)

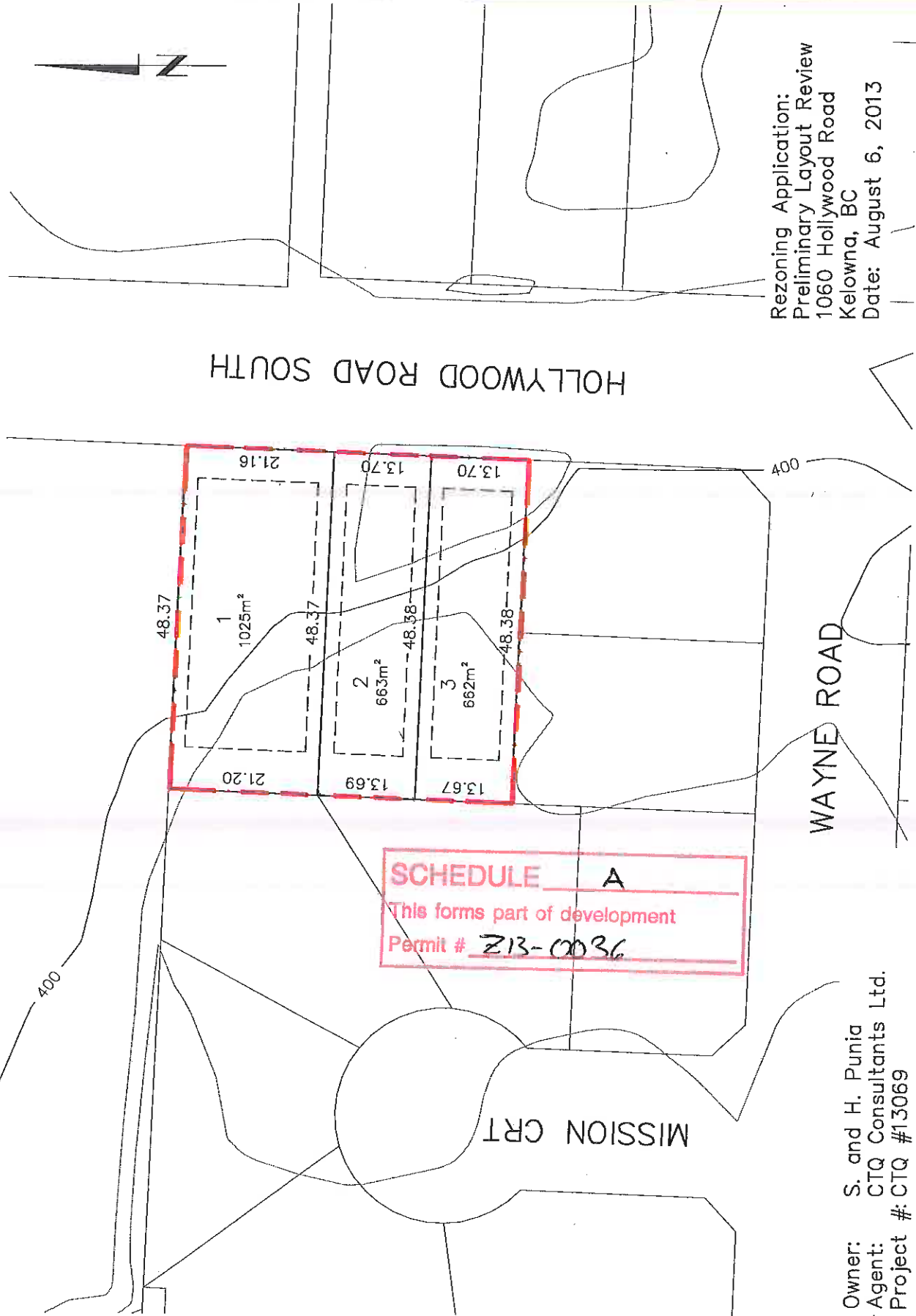
Subject Property Map (1 page)

Schedule "A" - Site Plan (1 page)

Schedule "B" - Description of Public Consultation (3 pages)



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.  
 The City of Kelowna does not guarantee its accuracy. All information should be verified.



Rezoning Application:  
 Preliminary Layout Review  
 1060 Hollywood Road  
 Kelowna, BC  
 Date: August 6, 2013



**SCHEDULE A**  
 This forms part of development  
 Permit # Z13-0036

Owner: S. and H. Punia  
 Agent: CTQ Consultants Ltd.  
 Project #: CTQ #13069



Engineering

Planning

Urban Design

SCHEDULE B  
This forms part of development  
Permit # Z13-0036

Project No: 13069

October 30<sup>th</sup> 2013

Dear Homeowner and Resident,

This note is being sent to homes in the neighbourhood with regard to a proposed rezoning for property located at:

1060 Hollywood Road S.  
Kelowna, BC V1X 4L9  
(Please see attached map on reverse side)

The City of Kelowna recommends that notices be served to the surrounding homes that may be affected by changes in land use with this rezoning.

The purpose for the rezoning is to request a change from RU1 to RU6 which will allow for additional dwelling units on this property. The proposed zoning (RU6) will permit two unit dwellings (Duplex or Carriage Home) and small lot development. The Official Community Plan already specifies that the property is designated for RESIDENTIAL SINGLE AND TWO RESIDENT HOUSING.

This designation in turn supports a change in zone to a higher density housing form. The City of Kelowna has designated this area for higher densities to support efficient use of land and to achieve more housing choice which could translate into more affordable housing. The subject property is of sufficient size to ultimately be subdivided and allow up to 4 units in various forms that would meet zoning regulations.

If you have any questions or comments about this rezoning application that is currently being considered by the City Planning Department please contact the undersigned. CTQ Consultants Ltd. is operating as the agent for this application. The owners are Mr/Ms. Shawn Punia of Kelowna, BC

We request your feedback within two weeks. Please feel free to contact us by phone or email. Thank you for your time and attention to this matter.

Sincerely,

PHONE: 250-979-1221 (Ex. 119)  
EMAIL: egrifone@ctqconsultants.ca

Ed Grifone, MCIP, RPP  
Senior Consultant/Principal

Kelowna Office: 500-1708 Dolphin Dr. Kelowna B.C. V1Y 9S4 Phone: 250-979-1221 Fax: 250-979-1232  
Kamloops Office: 101-1285 Dalhousie Dr. Kamloops B.C. V2C 5Z5 Phone: 250-372-9212 Fax: 250-372-9213





50m OFFSET FROM PROPERTY LINE  
 CANVASSING REQUIRED:  
 10 RESIDENTIAL LOTS  
 2 SCHOOL SITES

75m OFFSET FROM PROPERTY LINE  
 CANVASSING REQUIRED:  
 23 RESIDENTIAL LOTS  
 2 SCHOOL SITES

CURRENT ZONING  
 RU-1 (LARGE LOT RESIDENTIAL)

PROPOSED ZONING  
 RU-6 (TWO DWELLING HOUSING)

OCP DESIGNATION  
 RESIDENTIAL SINGLE AND TWO  
 RESIDENT HOUSING

**SCHEDULE B**  
 This forms part of development  
 Permit # Z13-0036

1060 HOLLYWOOD ROAD SOUTH  
 PROJECT No.13069  
 DRAWING No.13069-SK-001  
 SCALE 1:1500  
 October 22, 2013





"Together We Learn"

## SCHOOL DISTRICT NO. 23

(Central Okanagan)

OPERATIONS

685 Dease Road, Kelowna, B.C. V1X 4A4

Tel: (250) 870-5150

Email: [Operations.Department@sd23.bc.ca](mailto:Operations.Department@sd23.bc.ca)

Date: November 25, 2013

Ed Grifone  
Senior Consultant/Principal  
CTQ Consultants  
500-1708 Dolphin Dr.  
Kelowna, BC, V1Y 9S4

Dear Mr. Grifone,

**SUBJECT: Proposed Rezoning of 1060 Hollywood Rd S**

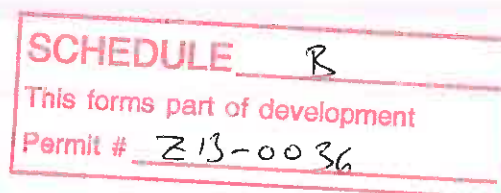
Thank you for circulating notice of the proposed rezoning of 1060 Hollywood Rd S.

The subject property sits to the south of the district's Hollywood Road Educational Services facility which functions as an administration and support facility for school district. By way of this letter I confirm the school district does not have any existing concerns with the proposed change in zoning from RU1 to RU6.

Please don't hesitate to contact me ([emily.watson@sd23.bc.ca](mailto:emily.watson@sd23.bc.ca)) should you require any additional information from the school district in regards to this rezoning application.

Kind Regards,

Emily Watson  
Planning Manager



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## CITY OF KELOWNA

### MEMORANDUM

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**Date:** October 15, 2013  
**File No.:** Z13-0036  
**To:** Planning & Development Services Department (DB)  
**From:** Development Engineer Manager (SM)  
**Subject:** 1060 Hollywood Road South, Lot 1 Plan 58290, Sec. 22, Twp. 26, ODYD

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Development Engineering comments and requirements regarding this application to rezone from RU1 to RU6 are as follows:

1. Subdivision

Provide easements as may be required

2. Geotechnical Study.

We recommend that a comprehensive geotechnical study be undertaken over the three proposed building sites. The geotechnical study should be undertaken by a Professional Engineer or a Geoscientist competent in this field. This study should analyse the soil characteristics and suitability for development of the requested zoning. As well, the study should address drainage patterns including the identification of ground water and the presence of any springs and the suitability of the lands for disposal of site generated storm drainage. In addition this study must describe soil sulphate contents, the presence or absence of swelling clays and the recommendation for construction over old decommissioned sewage disposal fields should they encroach on the proposed building envelopes.

3. Domestic water and fire protection.

a) This development is within the service area of the Rutland Waterworks District (RWD). A second service is required in order to meet current policies. The developer is required to make satisfactory arrangements with the RWD for these items. All charges for service connection and upgrading costs are to be paid directly to the RWD. The developer is required to provide a confirmation that the district is capable of supplying fire flow in accordance with current requirements.

b) A second water service is required in order to comply with current policies.

.../2

4. Sanitary Sewer.

- a) The property is located within Specified Area # 23 and in accordance with the City of Kelowna current policy, the specified charges for the proposed RU6 development will have to be cash commuted. The current pay out charge for Specified Area #23 RU6 zoned property is 2 Single Family Equivalent (SFE) @ \$7,049.61 per SFE for a total of 14,099.22 (valid until March 31, 2014). There will be additional charges for the newly created lots; these charges will be dealt with under the subdivision application.
- b) The existing 100 mm. wastewater service is adequate for the requested zone.

5. Power and Telecommunication Services.

All the services to the proposed lots must be installed underground. It is the developer's responsibility to make a servicing application with the respective utility companies. The utility companies are then required to obtain the city's approval before commencing their works within the public right of way.

6. Road improvements.

The Hollywood Road frontage is fully urbanized in accordance with current policies. This rezoning application does not trigger any upgrades.

7. Bonding and Levies Summary.

a) Performance Bonding	<u>N/A</u>
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b) levies

Specified Area charges	<b><u>\$14,099.22</u></b> (valid until March 31, 2014)
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Steve Muenz, P.Eng.  
Development Engineering Manager

BB





Business Commercial zone is consistent with the future land use designation, and is the appropriate zone for the Downtown.

The proposed rezoning will enable the existing building to be re-used for office use and other commercial uses that are both appropriate for and consistent with the surrounding Downtown context. The proposal contemplates improvements to the existing building's exterior and landscape frontage, which will contribute positively to the area's overall appearance. Should Council give favourable consideration to this application, the Development Permit for form and character would be brought forward for consideration at a later meeting with a more detailed analysis.

In accordance with Council Policy No. 367, the applicant team has been proactive in engaging with surrounding land owners and residents within 50 m of the subject property. To date, staff has not received any comments from the public in regards to the application.

## 4.0 Proposal

### 4.1 Project Description

The purpose of this application is to rezone the subject property from I2 - General Industrial zone to C7 - Central Business Commercial zone, to facilitate office use and the potential for other commercial uses within the existing building on site, consistent with the Kelowna 2030 Official Community Plan (OCP) future land use designation of MXR - Mixed Use (Residential/Commercial) and surrounding downtown properties.

The subject building was constructed in the 1970s and has been used for a limited range of office and commercial uses permissible under the I2 zone over the years (e.g., business support services, participant recreational services). The corporate property owner is presently seeking to move its business offices downtown, and to rezone the subject property to the C7 zone to enable re-use of the existing building for office use.

As part of the proposal to re-use the subject building, the building's frontage will be renovated and modernized, including a new stucco finish and painting; the replacement of windows, doors, and entrance awning; and introduction of front yard landscaping. Sufficient vehicular and bicycle parking can be provided onsite, in the existing rear yard parking area with access from the rear lane.

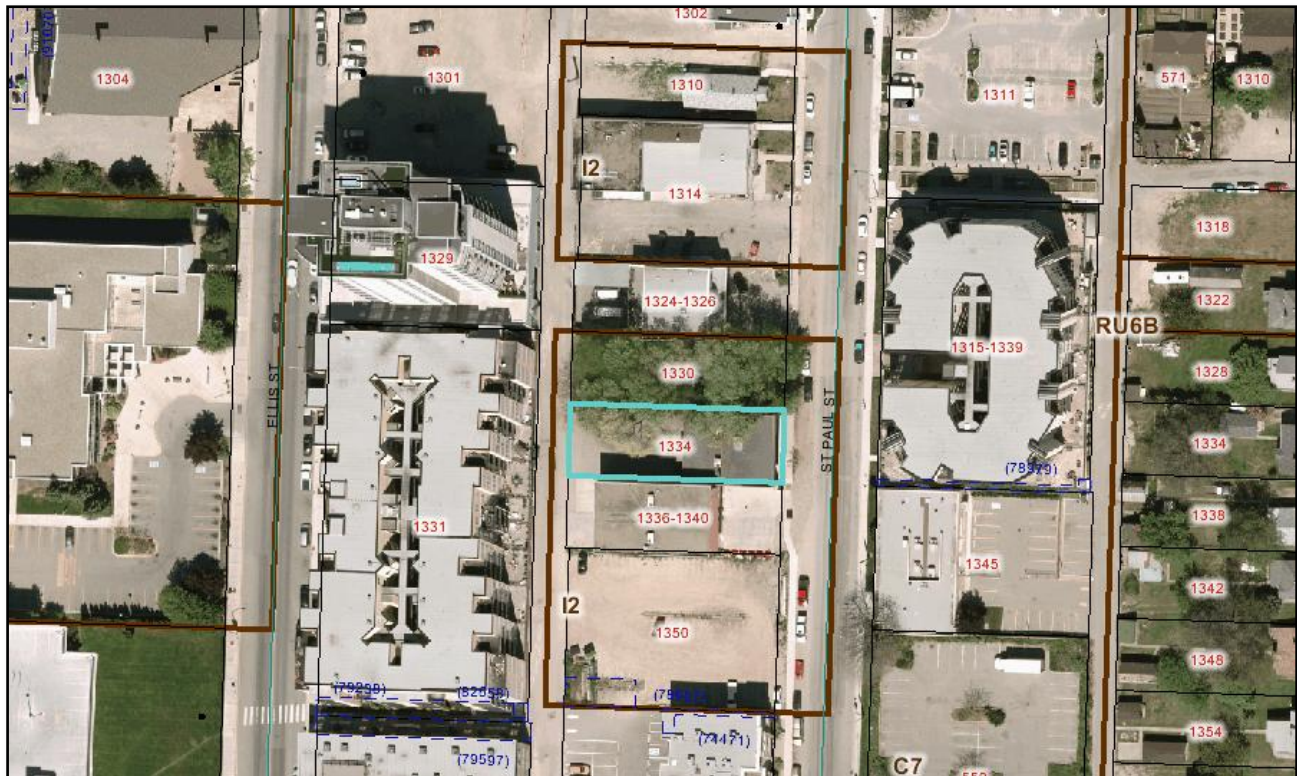
### 4.2 Site Context

This 690 m<sup>2</sup> site is located mid-block on the west side of St. Paul Street, between Doyle and Cawston Avenues. It is neighboured by multi-storey, mixed-use development to the west and east.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	I2 - General Industrial	Vacant
East	C7 - Central Business District	Mixed-Use Development (St. Paul Place)
South	I2 - General Industrial	2-Storey Commercial Building
West	C7 - Central Business District	Mixed-Use Development (Ellis Court)

Subject Property Map: 1334 St. Paul Street



Zoning Analysis Table		
CRITERIA	C7 ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Lot Area	200 m <sup>2</sup>	689.7 m <sup>2</sup>
Lot Width	6 m	15.24 m
Lot Depth	30 m	45.26 m
Development Regulations		
Floor Area Ratio	9.0 FAR	0.61
Height	44 m	8 m (2 storeys)
Front Yard	0 m	1.2 m
Side Yard (south)	0 m	0 m
Side Yard (north)	0 m	0 m
Rear Yard	0 m	24.9 m
Other Regulations		
Minimum Parking Requirements	6 spaces	7 spaces
Bicycle Parking	3 Class I / 1 Class II	Provided
Loading Space	1 space	Provided

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Chapter 5 - Development Process

**Compact Urban Form.** Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done

by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

**Policy 4 - Downtown Development.** Support rezoning to C7 use in the downtown Urban Centre area only where properties are surrounded on a minimum of 3 sides by existing C7 zoning. The intent of this policy is to support intensification within the existing core areas of the Downtown.

## 6.0 Technical Comments

### 6.1 Building & Permitting Department

- 1) Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s);
- 2) A Building Code analysis is required for the structure at time of building permit applications, but the following items may affect the form and character of the building(s):
  - a) The Main floor layout appears to have altered the integrity of the exit stairwell, so revisions may be required or an alternative solution may be required. The architect or engineer of record acting as prime consultant is required to submit for an alternative solution as per the requirements outlined in the 2012 edition of the British Columbia Building Code.
  - b) The rated fire doors at the top of the main stairwell have been removed from the original permit acceptance drawings and are required to maintain the integrity of the fire exit or an alternative solution is required to be approved to maintain minimum code requirements.
  - c) The exiting of the 2nd floor does not appear to meet minimum code requirements (number of exits, travel distance, interconnected floor space, stair rating etc).
  - d) The rear exit stairs shown are required to be rated and not allowed to pass in front of main floor windows. The architect of record is to address the fire safety requirements of the code in the permit application drawings.
  - e) Guard rails are required for the new rear deck along with any provisions for gates and locks provided in the permit application drawing sets;
- 3) A Structural and Architectural consult will be required to provide drawings and schedules for the new rear deck at time of permit application. The architect of record is to address the NAFS requirements for the installation of the new the doors and windows and provide the appropriate modelling for minimum code compliance to ASHRAE 90.1;
- 4) Full Plan check for Building Code related issues will be done at time of Building Permit applications.

### 6.2 Development Engineering Department

See attached Development Engineering Memorandum, dated November 8, 2013.

### 6.3 Fire Department

No concerns.

### 6.4 Ministry of Transportation & Infrastructure (MOTI)

The Ministry has no issues regarding this rezoning application.

6.5 FortisBC Inc. (Electric)

There are primary distribution facilities along St. Paul Street and within the lane adjacent to the subject's west property line. The applicant is responsible for costs associated with any change to subject's existing service, if any, as well as the provision of appropriate land rights where required. Otherwise, FortisBC Inc. (Electric) has no concerns with this circulation. In order to initiate the design process, the customer must call 1-866-4FORTIS (1-866-436-7847). It should be noted that additional land rights issues may arise from the design process but can be dealt with at that time, prior to construction.

6.6 Shaw Cable

Shaw Communications' interests are unaffected. The applicant should contact Shaw regarding future cable services.

6.7 Telus

TELUS will provide underground facilities to this development. Developer will be required to supply and install conduit as per TELUS policy.

**7.0 Application Chronology**

Date of Application Received: October 23, 2013  
Revised Application Materials Received: November 28, 2013

**Report prepared by:**

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Abigail Riley, Urban Planner

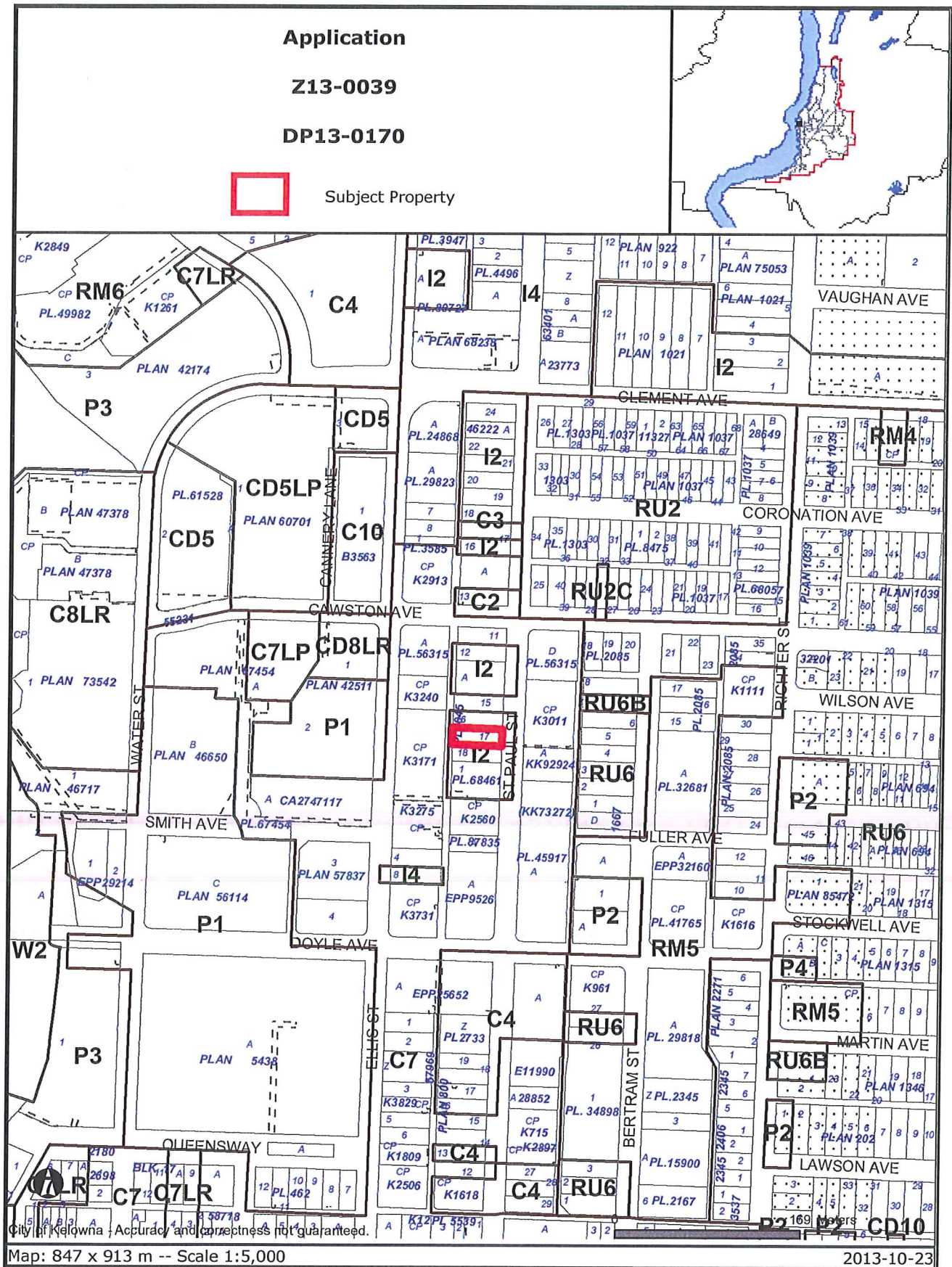
**Reviewed by:**  Ryan Smith, Manager, Urban Planning

**Approved for Inclusion:**  Doug Gilchrist, Divisional Director, Community Planning & Real Estate

**Attachments:**

- Subject Property Map
- Site Plan
- Conceptual Elevations
- Landscape Concept
- Context/Site Photos
- Development Engineering Memorandum, dated November 8, 2013





City of Kelowna; Accuracy and correctness not guaranteed.

Map: 847 x 913 m -- Scale 1:5,000

2013-10-23

Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.



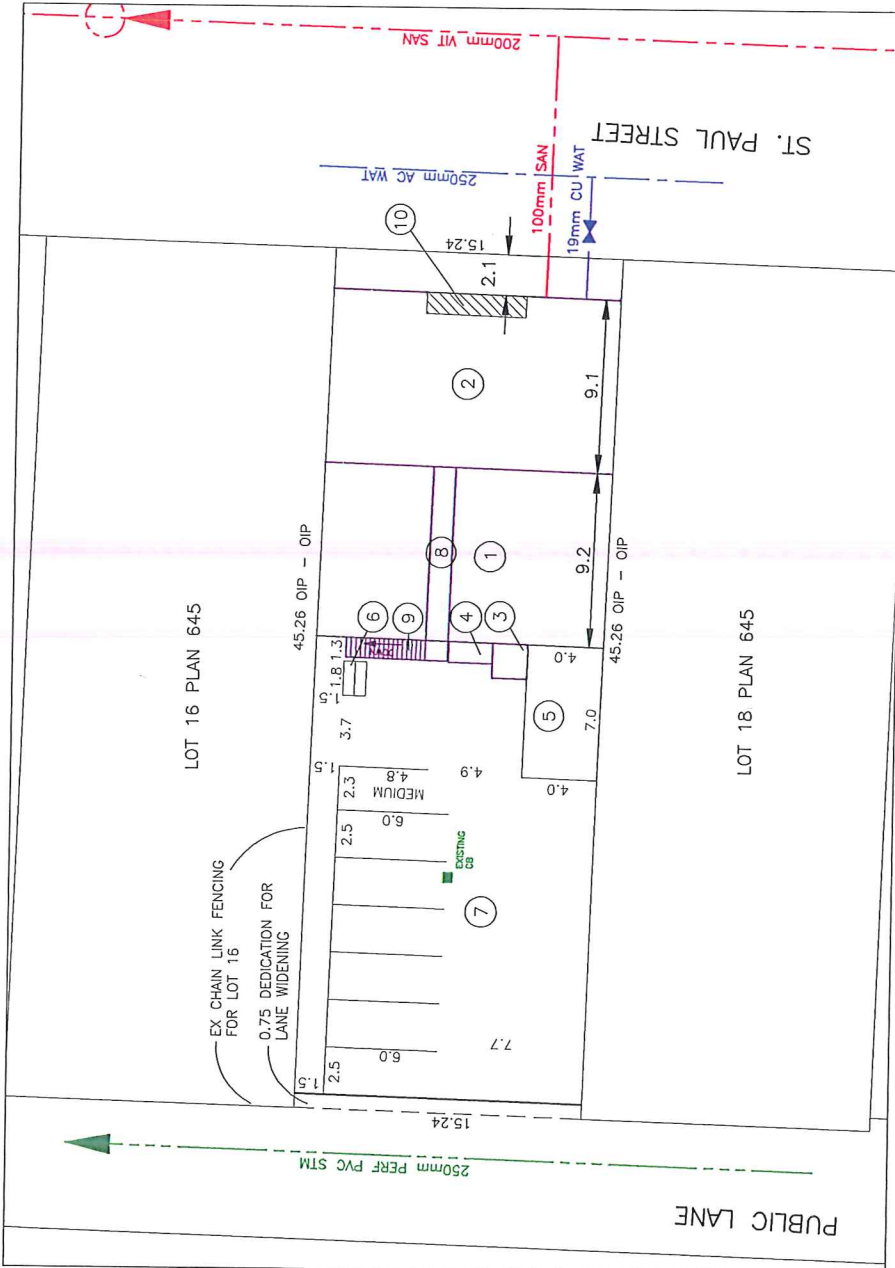
**PROJECT DESCRIPTION:**  
 REZONING FROM I2 TO C7 TO ALLOW FOR A  
 PROPOSED USE AS OFFICE SPACE IN AN  
 EXISTING BUILDING AT 1334 ST. PAUL STREET,  
 KELOWNA, BC

**LEGAL DESCRIPTION:**  
 LOT 17, DL 139, PLAN 645, O.D.Y.D.

BUILDING LOWER LEVEL GFA 278.7 sqm  
 BUILDING UPPER FLOOR GFA 139.4 sqm  
 WATER AND SANITARY SEWER SERVICES EXIST TO BUILDING

**SITE FEATURES KEY:**

- ① EXISTING SINGLE STOREY SECTION
- ② EXISTING TWO STOREY SECTION - MAX EXTERIOR WALL HEIGHT = 8.0m
- ③ EXISTING ELECTRICAL TRANSFORMERS VAULT 1.8x1.8m
- ④ EXISTING UTILITY SERVICE ROOM 1.1x2.3m
- ⑤ PROPOSED LOADING ZONE 4.0x7.0m
- ⑥ PROPOSED BICYCLE PARKING (2 STALLS)
- ⑦ PROPOSED PARKING LAYOUT ON EXISTING ASPHALT AREA (7 STALLS PROVIDED) - 6 FULL SIZE STALLS AND 1 MEDIUM SIZE STALL  
 PARKING REQUIRED FOR C7 ZONING = 6 STALLS MINIMUM AND 8 STALLS MAXIMUM  
 EXISTING ASPHALT AREA IS FROM BACK OF BUILDING TO WEST PL FOR THE COMPLETE 15.2m WIDTH OF THE LOT.
- ⑧ PROPOSED WOODEN WALKWAY c/w METAL HANDRAILS ON LOWER ROOF
- ⑨ PROPOSED FIRE ESCAPE STAIRS c/w METAL HANDRAILS
- ⑩ 5.5 sqm AREA TO BE ENCLOSED - MAIN FLOOR ONLY. UPPER FLOOR EXISTS OVER THIS AREA.



**REVISED PLANS**

**NOV 29 2013**

**CITY OF KELOWNA  
 Land Use Management**

CRP-1534-2012-Eng November 28, 2013 Item 04



CTQ HOLDINGS LTD  
 OFFICE BUILDING  
 1334 ST. PAUL STREET, KELOWNA  
 REZONING APPLICATION SITE PLAN  
 REVISED NOVEMBER 28, 2013  
 CITY FILE Z13-0039





PROPOSED FRONT ELEVATION



EXISTING FRONT ELEVATION



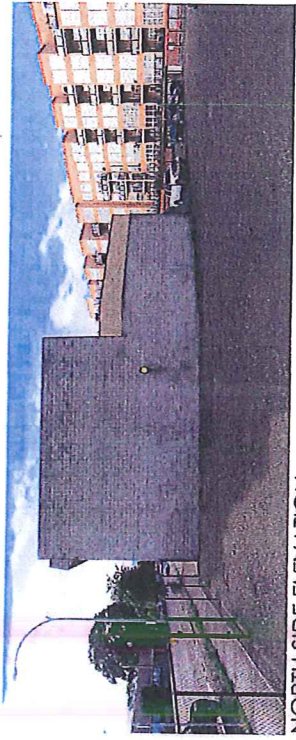
PROPOSED REAR ELEVATION



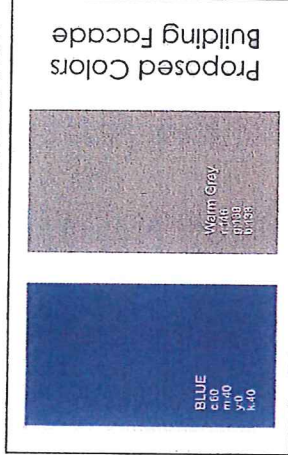
EXISTING REAR ELEVATION



SOUTH SIDE ELEVATION



NORTH SIDE ELEVATION



Proposed Colors  
Building Facade

Development Permit Application

1334 St. Paul Street Kelowna BC

October 9, 2013











FRONT ELEVATION



REAR ELEVATION



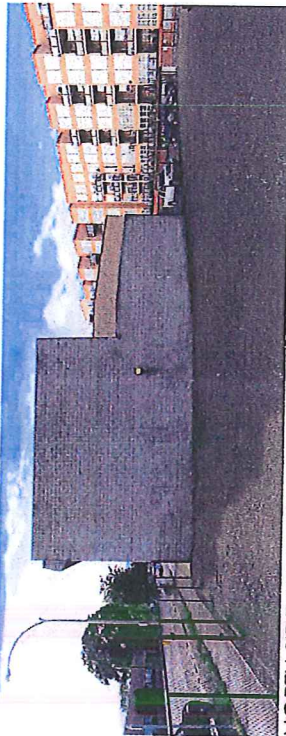
STREETSCAPE  
LOOKING SOUTH



STREETSCAPE  
LOOKING NORTH



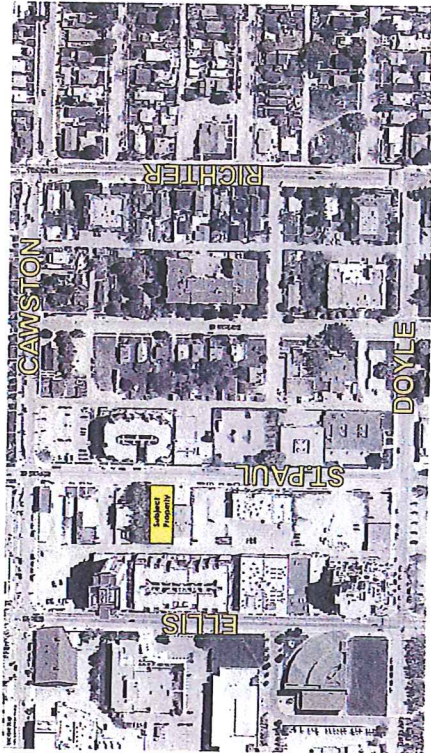
SOUTH SIDE ELEVATION



NORTH SIDE ELEVATION



STREETSCAPE  
EXISTING SIDEWALK AND PARKING



# CONTEXT PLAN AND EXISTING CONDITIONS

Development Permit Application

## 1334 St. Paul Street Kelowna BC

October 9, 2013





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**CITY OF KELOWNA**  
**MEMORANDUM**

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**Date:** November 8, 2013  
**File No.:** Z13-0039

**To:** Urban Planning Department (AR)

**From:** Development Engineering Manager

**Subject:** 1334 St. Paul Street, I2 to C7

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The Development Engineering Department has the following comments and requirements associated with this rezoning application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Sergio Sartori

**1. Domestic Water and Fire Protection**

The subject property is currently serviced with a 19mm-diameter water service. The developer's consulting mechanical engineer will determine the domestic and fire protection requirements of this proposed development and establish hydrant requirements and service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the disconnection of existing services and the installation of a new service if necessary.

**2. Sanitary Sewer**

The subject property is currently serviced with 100mm-diameter sanitary service. The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal and disconnection of the existing services and the installation of one new larger service.

**3. Storm Drainage**

The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the City Storm Water Management Policy and Design Manual. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and provision of a storm drainage service for the development and / or recommendations for onsite drainage containment and disposal systems.

**4. Road Improvements**

- (a) St Paul Street must be upgraded to an urban standard along the full frontage of this proposed development, including curb and gutter, monolithic sidewalk, drainage system including catch basins, manholes and pavement removal and replacement, street lighting and re-location or adjustment of utility appurtenances

if required to accommodate the upgrading construction.

- (b) Lane adjacent to this development site will require widening and reconstruction to a paved commercial standard.

**5. Road Dedication and Subdivision Requirements**

- (a) Dedicate widening of the rear lane to provide the required widening to provide an ultimate 7.6m wide commercial standard lane.
- (b) Grant statutory rights-of-way if required for utility services.

**6. Electric Power and Telecommunication Services**

- a) All proposed service connections are to be installed underground. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

**8. Design and Construction**

- (a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- (b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- (e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

**9. Servicing Agreements for Works and Services**

- (a) A Servicing Agreement is required for all offsite works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- (b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.



**10. Other Engineering Comments**

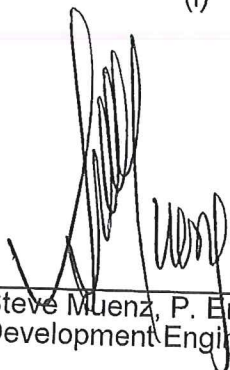
- (a) Provide all necessary Statutory Rights-of-Way for any utility corridors as required.
- (b) If any road dedication affects lands encumbered by a Utility right-of-way (such as Terasen, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.

**11. Geotechnical Report**

- a) Provide a comprehensive geotechnical report prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below: **NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed development.**
  - Overall site suitability for development.
  - Presence of ground water and/or springs.
  - Presence of fill areas.
  - Presence of swelling clays.
  - Presence of sulphates.
  - Potential site erosion.
  - Provide specific requirements for footings and foundation construction.
  - Provide specific construction design sections for roads and utilities over and above the City's current construction standards

**12. Development Permit and Site Related Issues**

- (a) The proposed parking stalls must meet the zoning bylaw requirements.
- (b) Access and Manoeuvrability
  - (i) An SU-9 standard size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways. If the development plan intends to accommodate larger vehicles movements should also be illustrated on the site plan.



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Steve Muenz, P. Eng.  
Development Engineering Manager

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